
F/YR22/0585/F

Applicant: Mr Stephen Necker

**Agent: Mr James Burrows
Swann Edwards Architecture Limited**

143 Barton Road, Wisbech, Cambridgeshire, PE13 4TF

Erect a first-floor side extension and an attached garage with storage above to front of existing dwelling

Officer recommendation: Refuse planning permission.

Reason for Committee: Referred by Head of Planning on advice of Committee Chairman and number of representations received contrary to Officer recommendation

1 EXECUTIVE SUMMARY

- 1.1 This application is for a first-floor extension above the existing link element and garage with an additional single storey double garage, with store within the roof space, positioned to the front of the site adjoining the existing garage.
- 1.2 The site is within the built-up area and therefore the proposed extension of the recently built dwelling is acceptable in principle.
- 1.3 Whilst acceptable with regards to residential amenity, the proposal is considered to result in harm to the character and appearance of the area. It is therefore recommended that planning permission be refused.

2 SITE DESCRIPTION

- 2.1 The application site is situated on the southern side of Barton Road within the built-up area of the Wisbech. The host dwelling is one of four new build dwellings all of a similar scale and design. The site is surrounded by residential properties.
- 2.2 The site is within Flood Zone 1.

3 PROPOSAL

- 3.1 The application is for full planning permission for a first-floor extension above the existing garage and single storey side extension which links the dwelling and garage. Also proposed is an additional attached double garage, positioned to the front of the plot beyond the existing garage, with a store within the roof space.
- 3.2 Full plans and associated documents for this application can be found at: [F/YR22/0585/F | Erect a first-floor side extension and an attached garage with storage above to front of existing dwelling | 143 Barton Road Wisbech Cambridgeshire PE13 4TF \(fenland.gov.uk\)](#)

4 SITE PLANNING HISTORY

F/YR19/0843/RM	Reserved matters application relating to the detailed matters of appearance, landscaping, layout and scale pursuant to outline permission (F/YR18/1016/O) - Erect 4 x dwellings (2-storey 5-bed, 3 x with attached garages and 1 x with integral garage)	Approved	21.7.2020
F/YR18/1016/O	Erection of up to 4no dwellings (outline application with matters committed in respect of access)	Granted	18.2.2019

5 CONSULTATIONS

5.1 **Wisbech Town Council:** *That the application be supported.*

5.2 **North Level District IDB:** *Have no comment to make.*

5.3 Local Residents/Interested Parties

A total of seven comments have been received from five households (three from Magazine Lane and one each from Barton Road and Octagon Drive, all Wisbech) in support of the application. The representations may be summarised as follows:

- No impacts
- Additional accommodation for resident and their family
- Uses existing footprint

6 STATUTORY DUTY

6.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires a planning application to be determined in accordance with the Development Plan unless material planning considerations indicate otherwise. The Development Plan for the purposes of this application comprises the adopted Fenland Local Plan (2014).

7 POLICY FRAMEWORK

7.1 **National Planning Policy Framework (NPPF)**

7.2 **National Planning Practice Guidance (NPPG)**

7.3 **National Design Guide 2019**

7.4 **Fenland Local Plan 2014**

LP1 – A Presumption in Favour of Sustainable Development

LP2 – Facilitating Health and Wellbeing of Fenland Residents

LP8 – Wisbech

LP14 – Responding to Climate Change and Managing the Risk of Flooding in Fenland

LP16 – Delivering and Protecting High Quality Environments across the District

8 KEY ISSUES

- **Principle of Development**
- **Visual amenity and the impact upon the character of the area**
- **Residential amenity**

9 ASSESSMENT

Principle of Development

- 9.1 Policy LP16 supports the principle of development subject to the consideration of, amongst other things, the likely impact on the amenity of neighbouring properties and users and the design and appearance of the proposal with regards to the existing character and appearance of the area. The principle of the development of the proposal is therefore acceptable subject to further policy considerations as set out below.

Visual amenity and the impact upon the character of the area

- 9.2 The existing property is a two-storey detached dwelling with a single storey link adjoining the double garage situated to the front of the dwelling. The host dwelling is one of four new build dwellings of similar design and scale, however, given the curve of the road and the positioning of the site at the junction of Barton Road and Cox's Lane, the host dwelling appears more prominent within the street scene.
- 9.3 The front boundary is open and therefore views of the host property are readily available. The western boundary, adjacent the proposal, is defined by a 1.8m high close boarded fence. Accordingly, the site is highly visible and the front and both side elevations of the proposal would be readily visible from the public domain and would appear as prominent features given their forward positioning on site.
- 9.4 The proposed additional garage will be positioned forward of the existing line of built form further emphasising the prominence of the proposed development which is worsened by the overall scale of the proposal.
- 9.5 Each element of the proposal has been designed with a different ridge height albeit the side extension and first floor to the existing garage would result in two storey elements. Whilst these would be lower than the host dwelling given their positioning to the front of the host property, they will appear as prominent additions. The differing roof heights whilst all elements retaining the same roof pitch also results in an unusual roofline which is at odds to the prevalent built form.
- 9.6 Overall, the proposed extensions by virtue of their scale, bulk, design and positioning would appear incongruous and unduly prominent within the street scene and would fail to respect the predominant form and character of the area. As such, the development would result in significant and demonstrable harm to the character and appearance of the area, contrary to Chapter 12 of the National Planning Policy Framework (2021), Policy LP16 of Fenland Local Plan (2014), and guidance within the National Design Guide (2019).

Residential amenity

- 9.7 Given the positioning of the proposal and resultant relationship and separation distance to neighbouring properties, the proposal is not considered to result in a loss of light, overshadowing nor overbearing impacts.
- 9.8 There is limited fenestration proposed to the first-floor extensions with one window proposed to overlook rear amenity areas and another overlooking the public realm to the front of the site. Any fenestration to the side elevations, facing neighbouring properties, is limited to rooflights which are considered to permit restricted limited views. Overall, the proposal is therefore not considered to result in overlooking nor a loss of privacy for neighbouring residents.

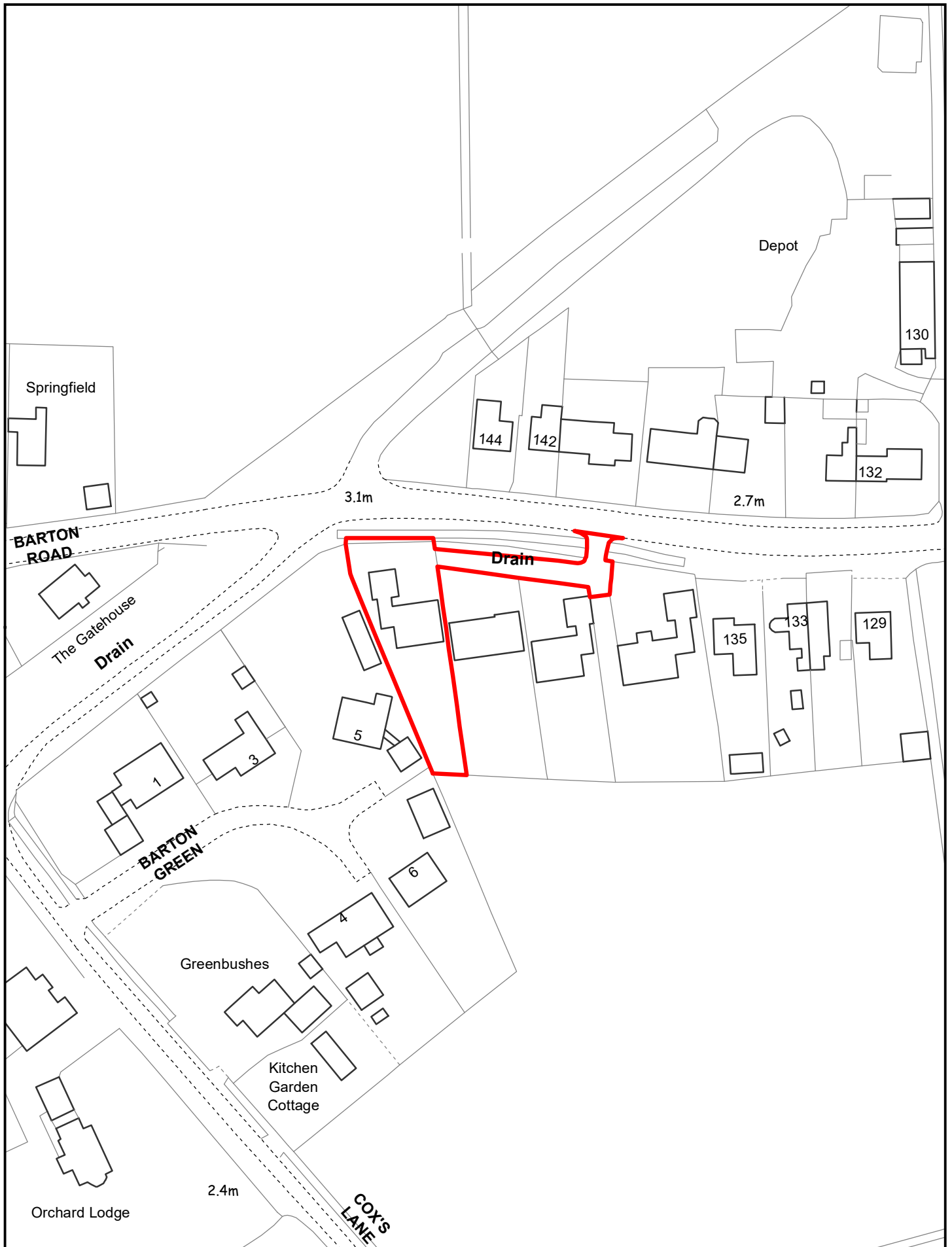
10 CONCLUSIONS

- 10.1 Having regard to local and national planning policy and all other material considerations, the proposal is considered unacceptable based on the above assessment.

11 RECOMMENDATION

Refuse; for the following reason:

1	The proposed extensions by virtue of their scale, bulk, design and positioning would appear incongruous and unduly prominent within the street scene and would fail to respect the predominant form and character of the area. As such, the development would result in significant and demonstrable harm to the character and appearance of the area, contrary to Chapter 12 of the National Planning Policy Framework (2021), Policy LP16 of Fenland Local Plan (2014), and guidance within the National Design Guide (2019).
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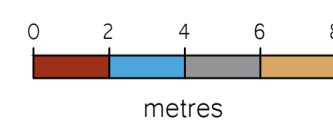
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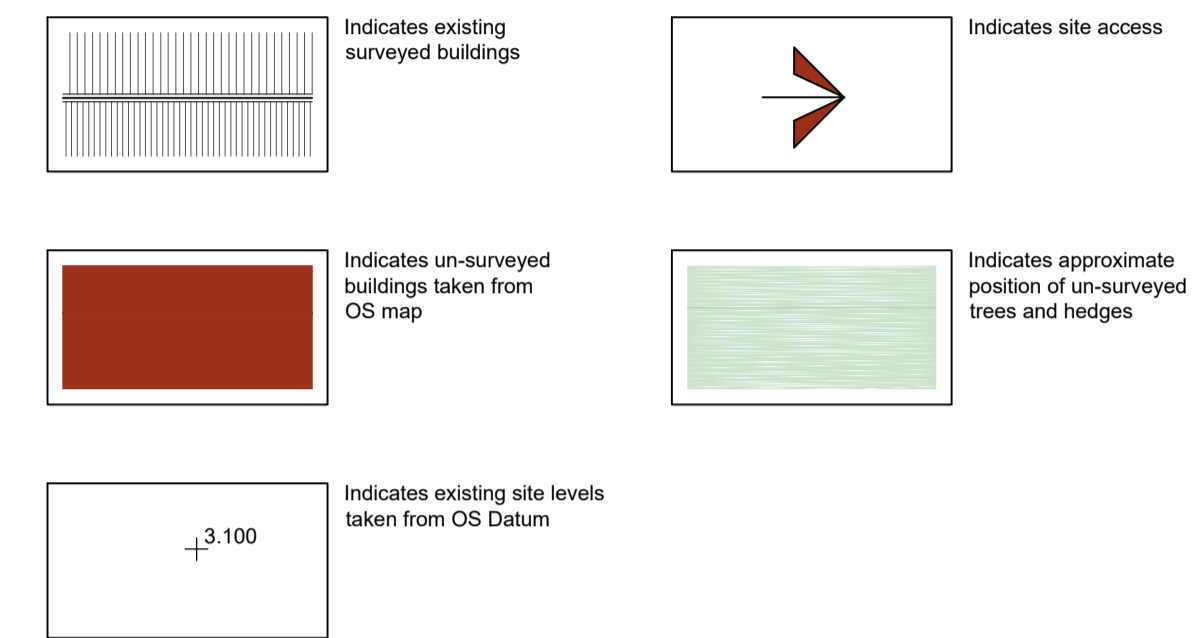




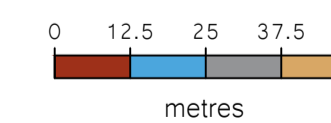
Site Plan
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SITE PLAN KEY



Location Plan
Scale: 1:1250



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CONSTRUCTION DESIGN & MANAGEMENT REGULATIONS 2015

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C01	Telegraph Pole/Overhead Cables
C02	Inspection Chamber
C03	Electric Meter

Revisions

A	Feb 2022	Changes Following Invalid Letter
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Status
AS EXISTING



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Job Title Proposed Garage & Garage Extension & Alterations at 143 Barton Road, Wisbech, PE13 4TF, For Mr Necker	Date August 2021	Drawn by JRB
Drawing Title Survey Drawing Site & Location Plan	Job No. SE-1691	Sheet Size A1
	Dwg No. 100	Revision A

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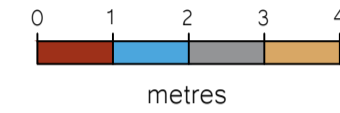
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C04 Underfloor Heating Manifold

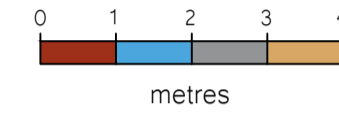
C05 Boiler/Hot Water Tank



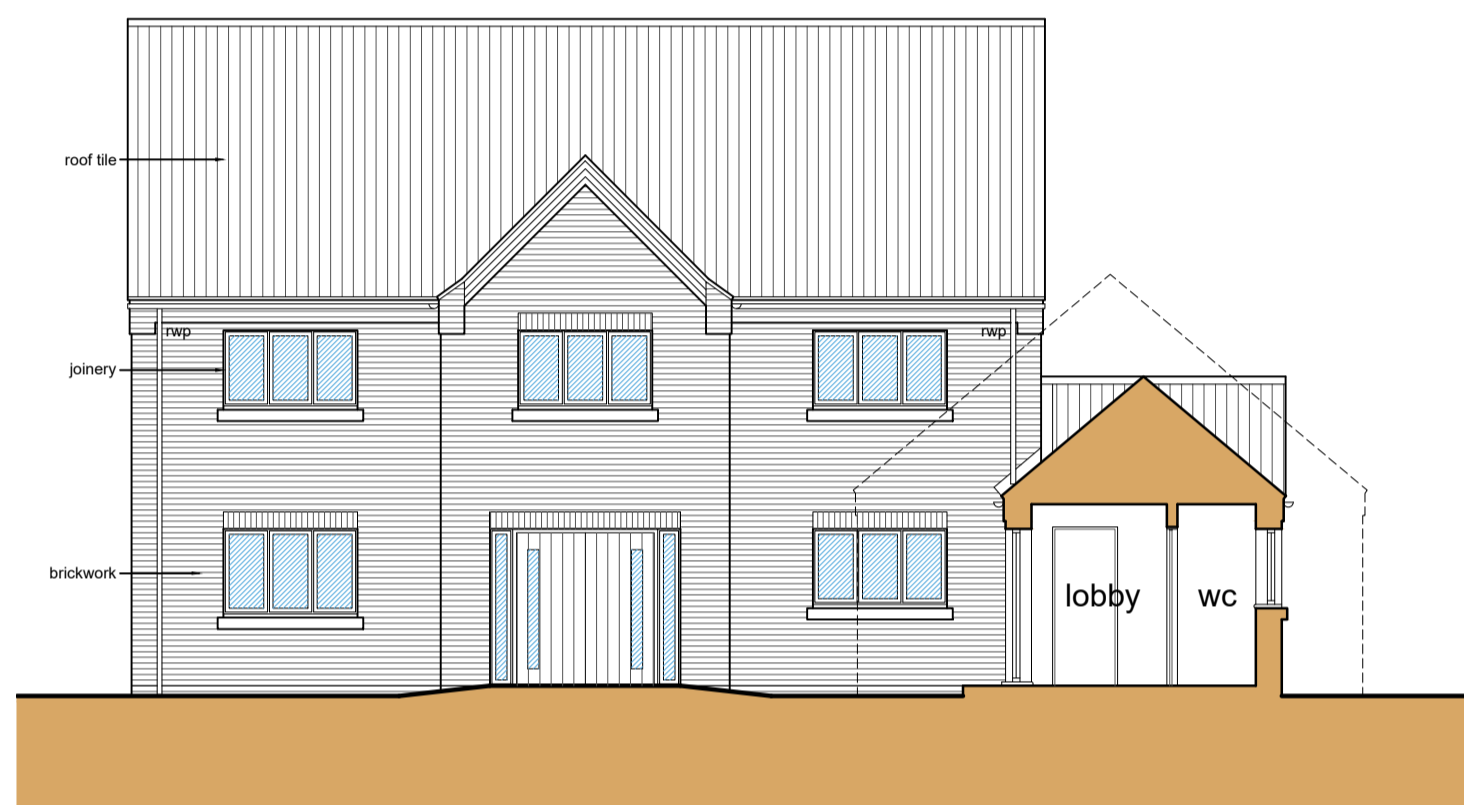
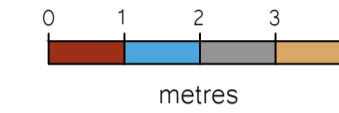
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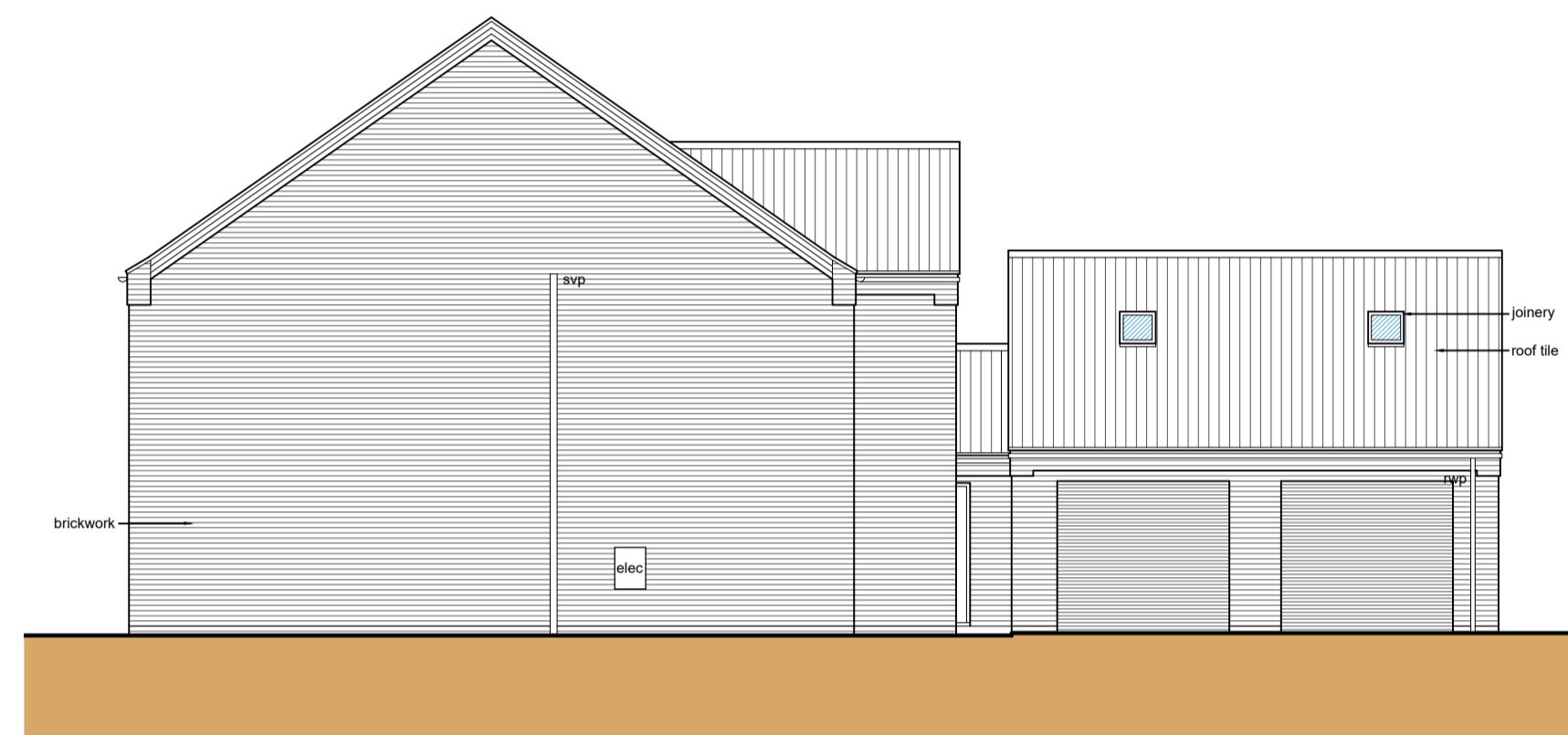
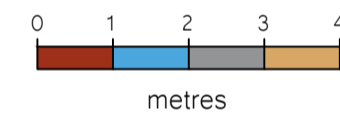
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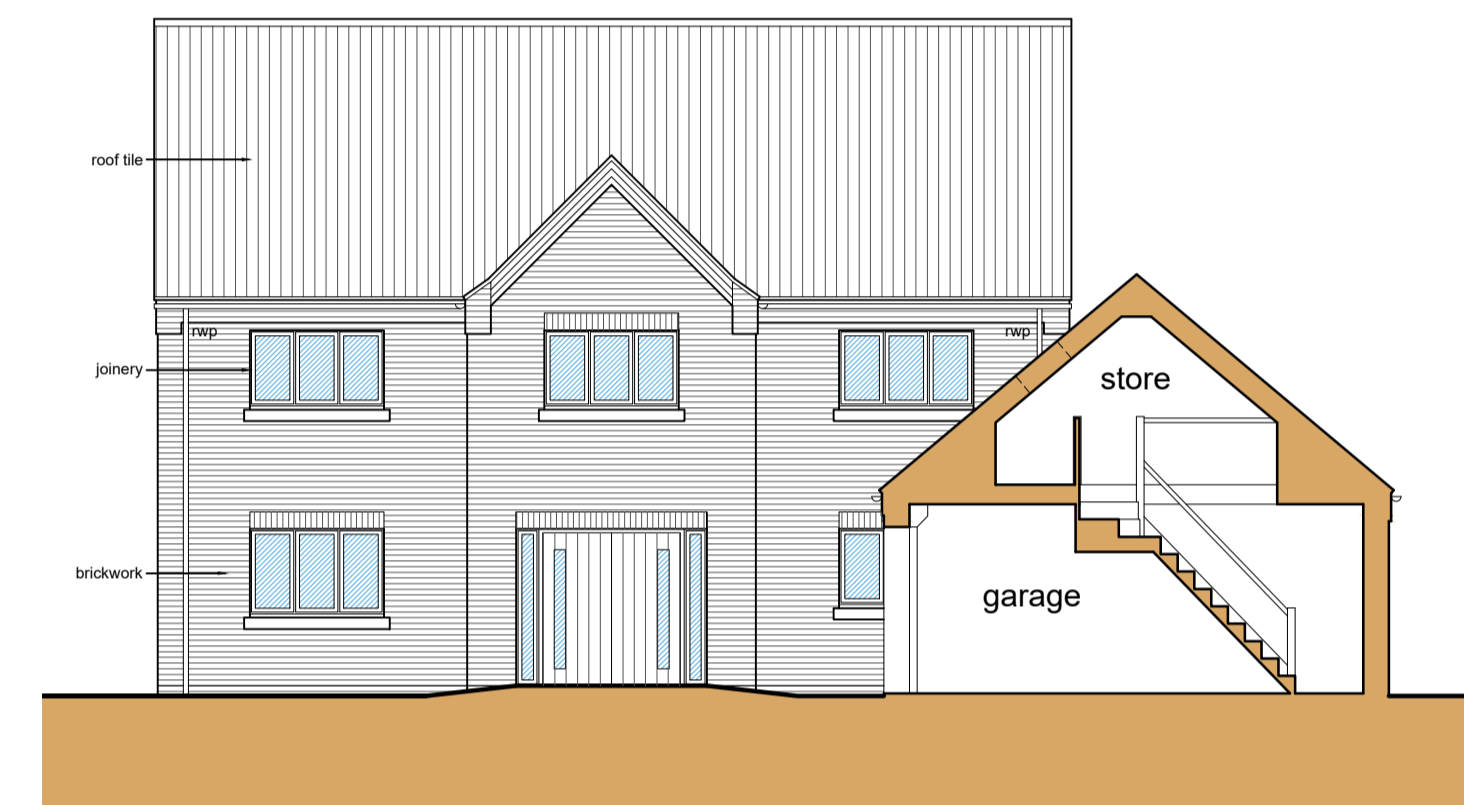
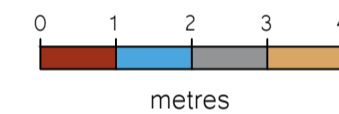
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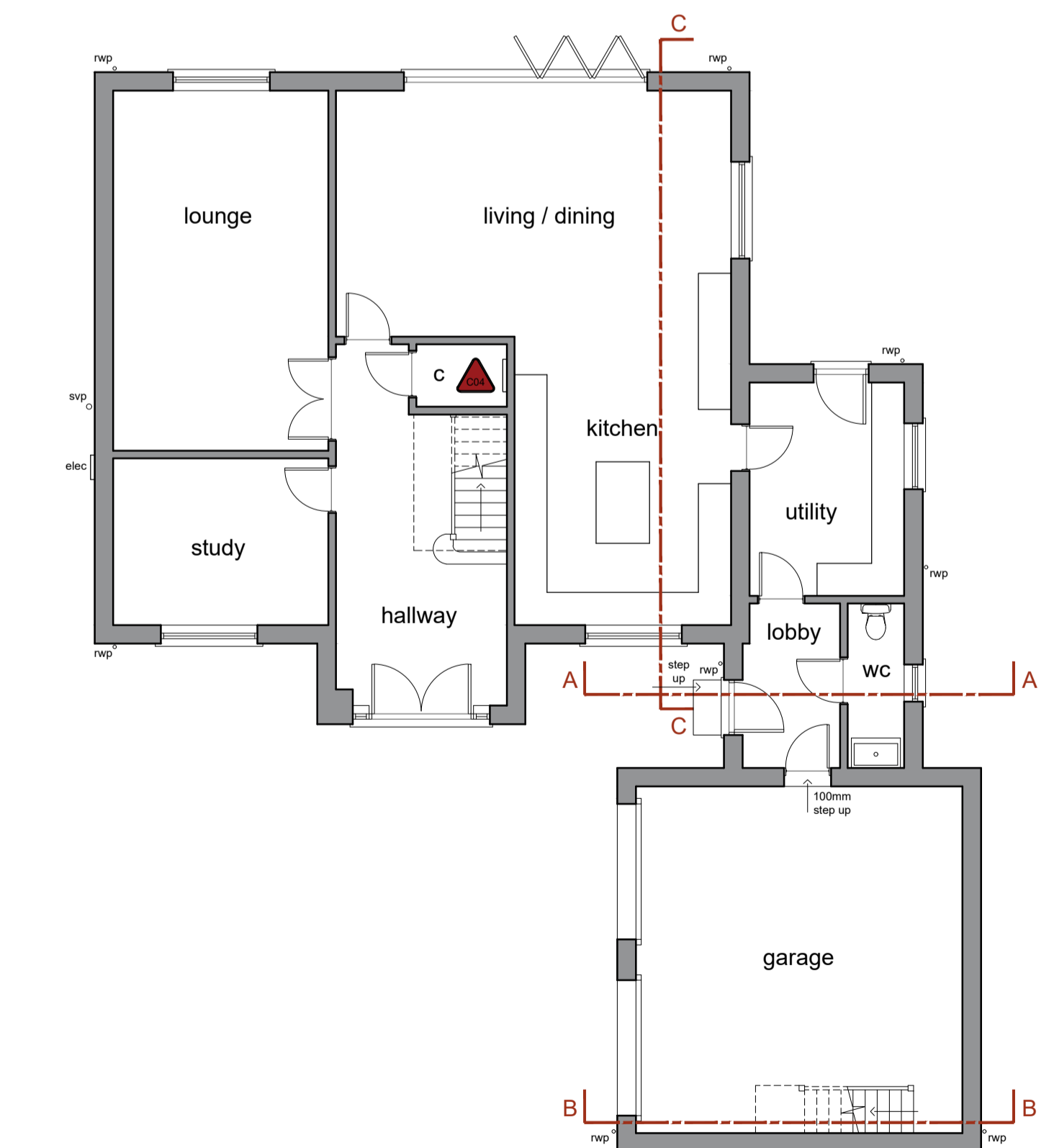
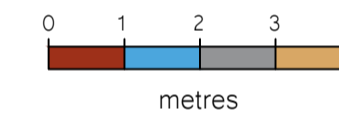
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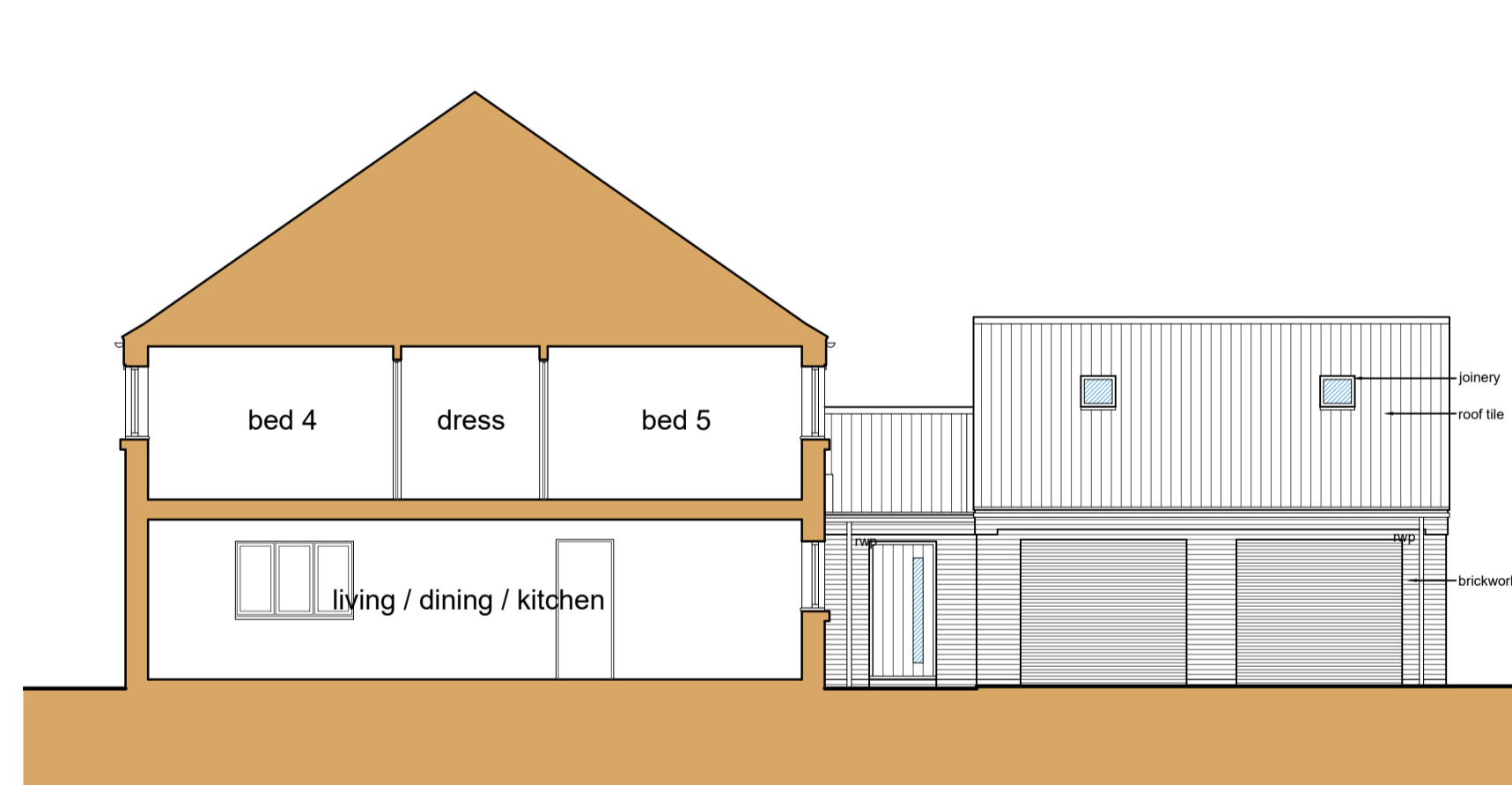
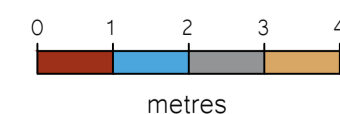
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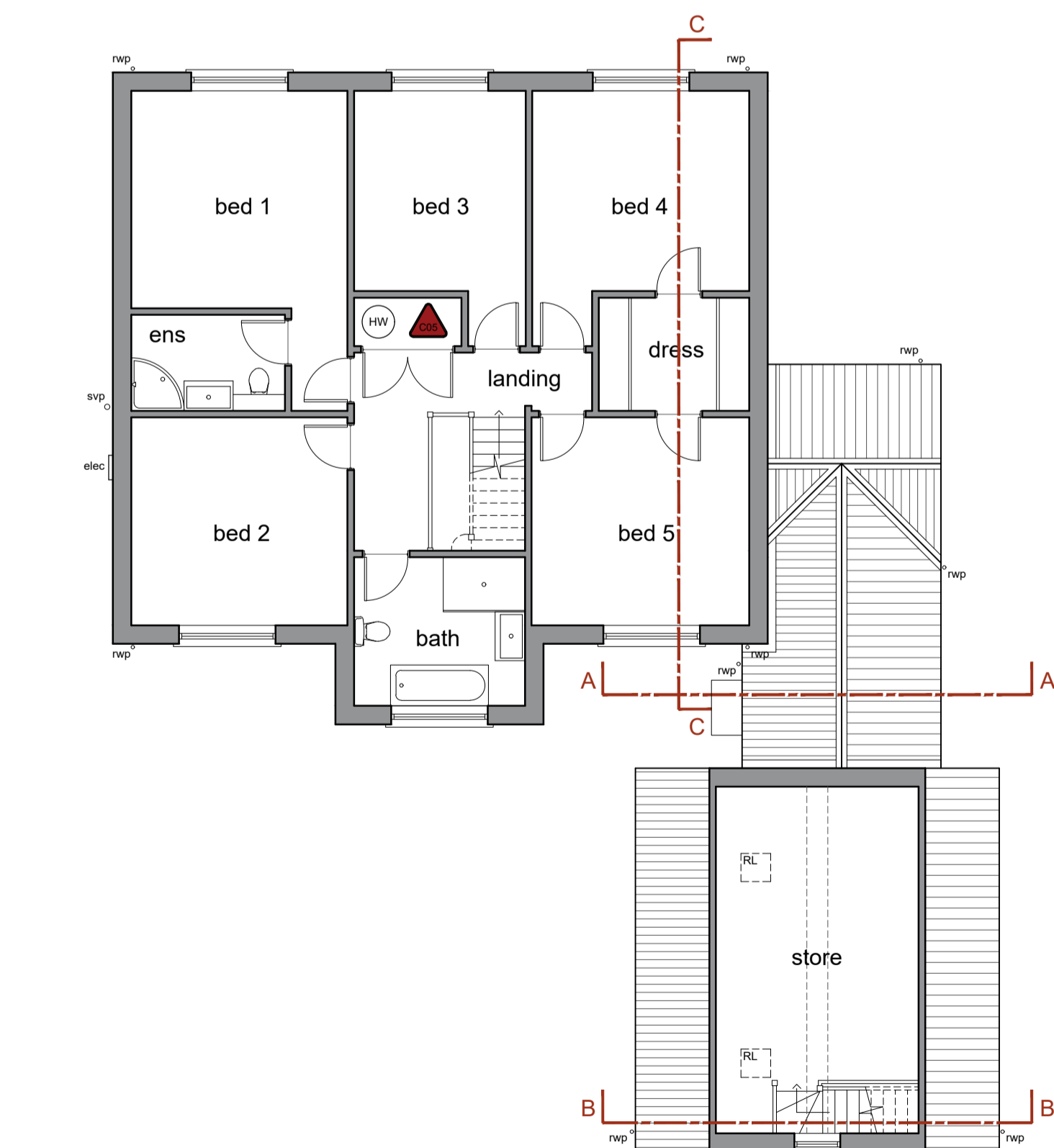
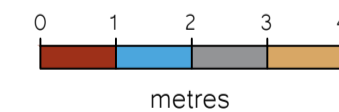
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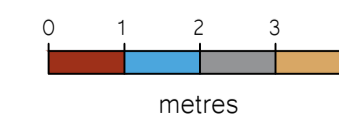
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Section C-C
Scale: 1:100



First Floor Plan
Scale: 1:100



Status
AS EXISTING

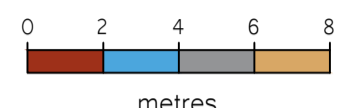
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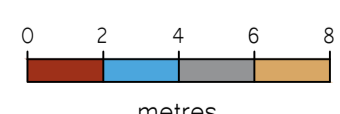
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Drawing Title Survey Drawing Floor Plans, Elevations & Sections	Job No. SE-1691	Sheet Size A1
	Dwg No. 150	Revision



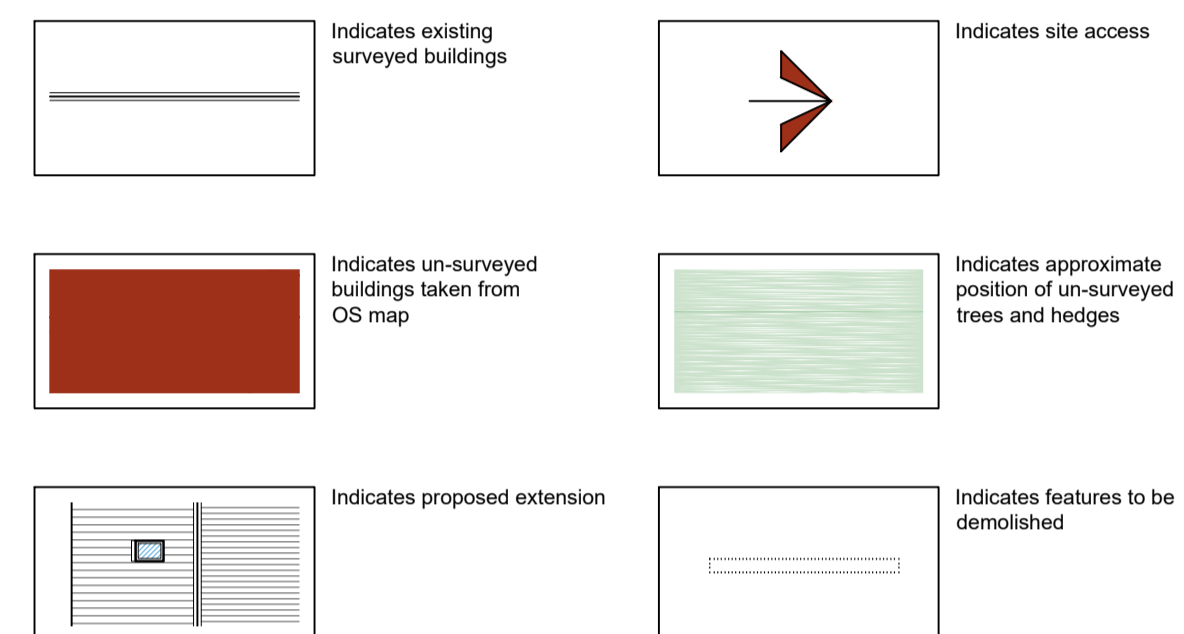
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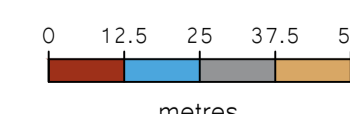
Site Plan
Scale: 1:200



SITE PLAN KEY



Location Plan
Scale: 1:1250



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Revisions

A	Feb 2022	Changes Following Invalid Letter
B	May 2022	Changes Following Planning Comments

Status
FOR APPROVAL

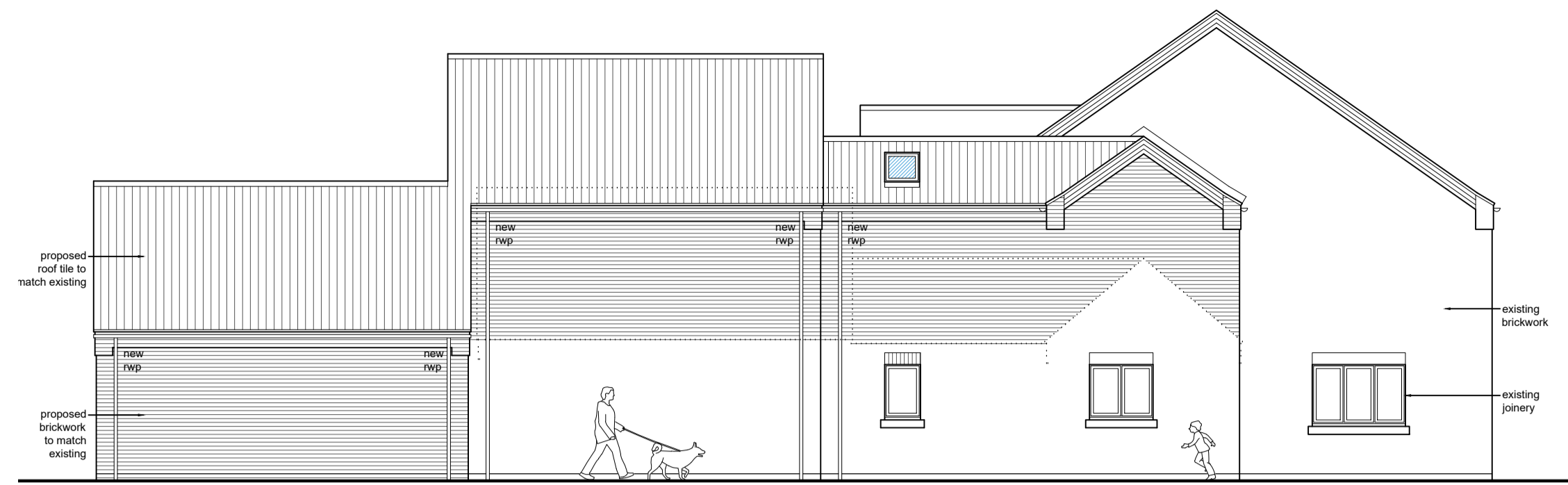
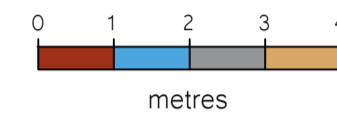


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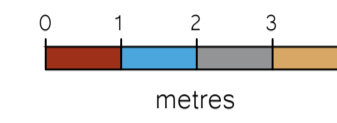
Job Title Proposed Garage & Garage Extension & Alterations at 143 Barton Road, Wisbech, PE13 4TF, For Mr Necker	Date December 2021	Drawn by JRB
Drawing Title Planning Drawing Site Plan, Location Plan & Proposed Street Scene	Job No. SE-1691	Checked by SHE
	Dwg No. PP1000	Sheet Size A1
		Revision B



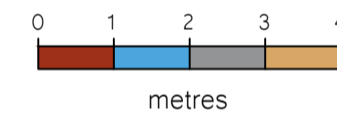
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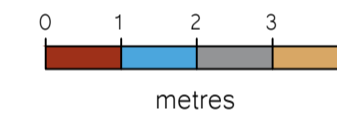
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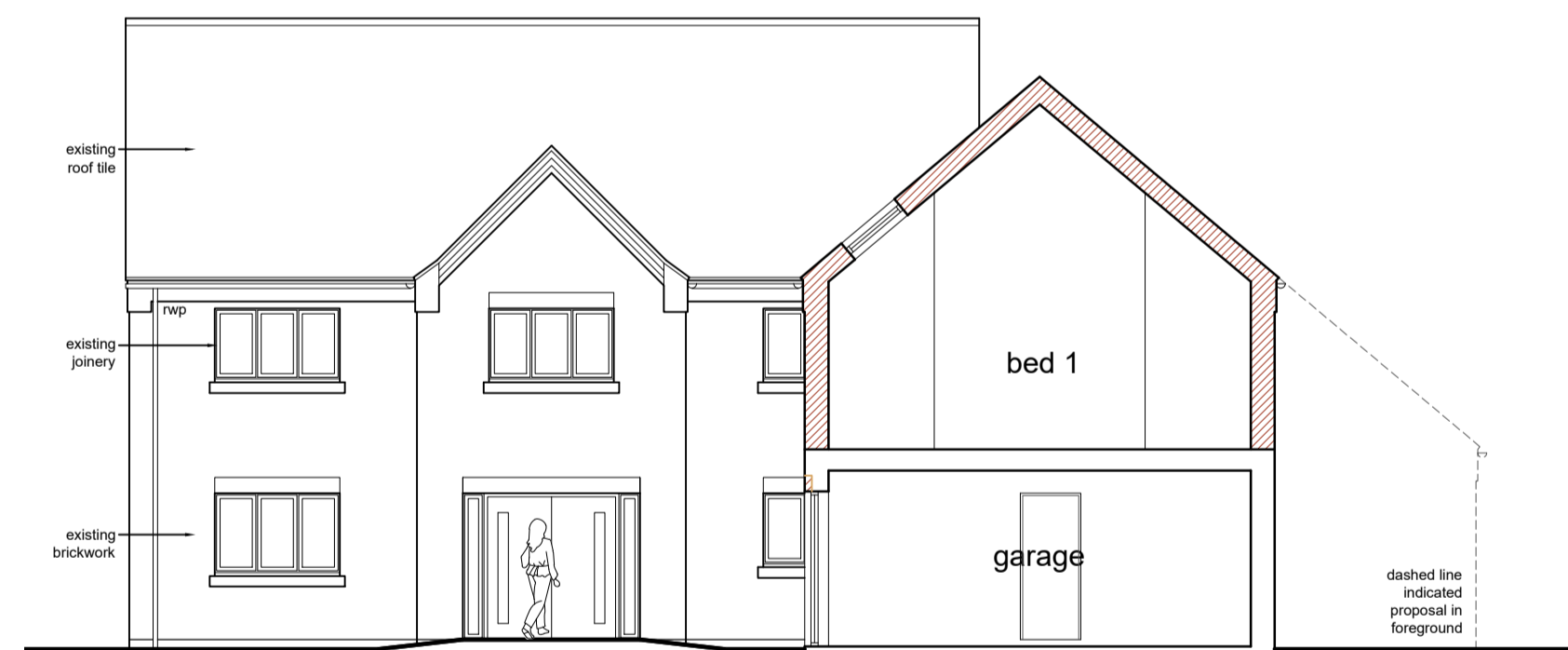
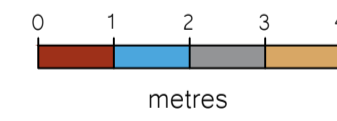
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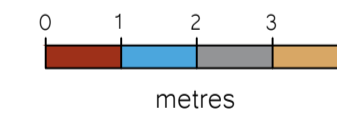
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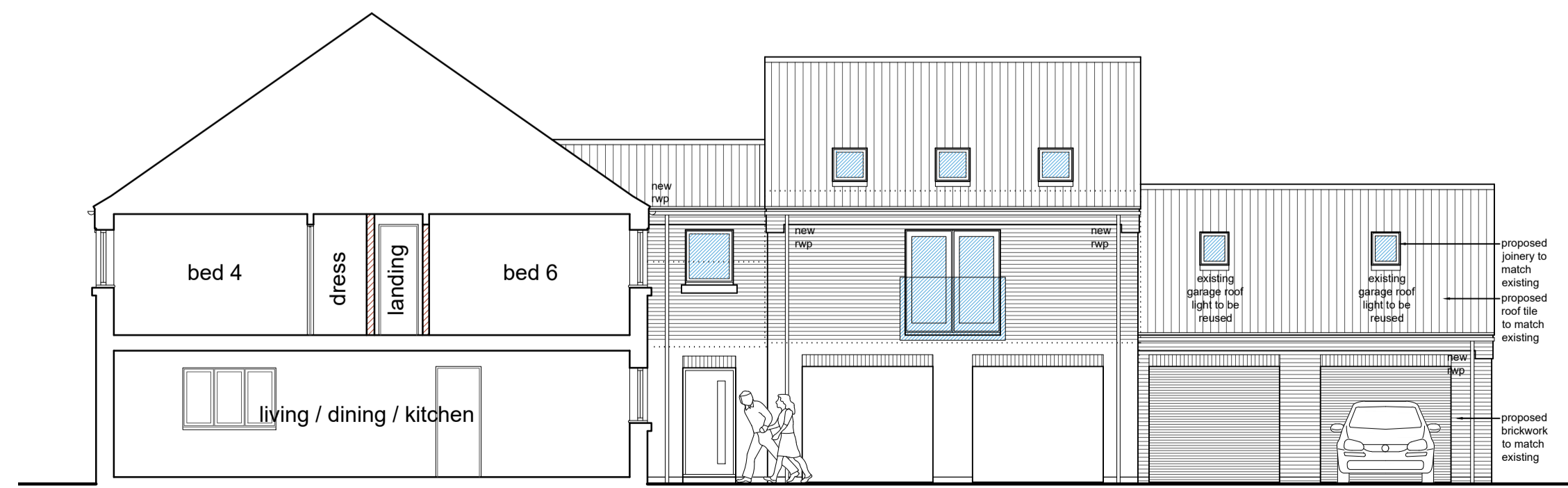
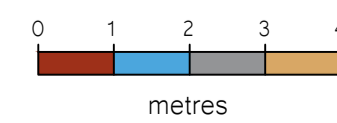
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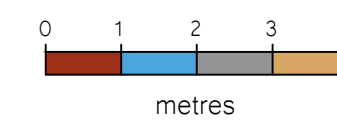
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Section C-C
Scale: 1:100



Section D-D
Scale: 1:100



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Status
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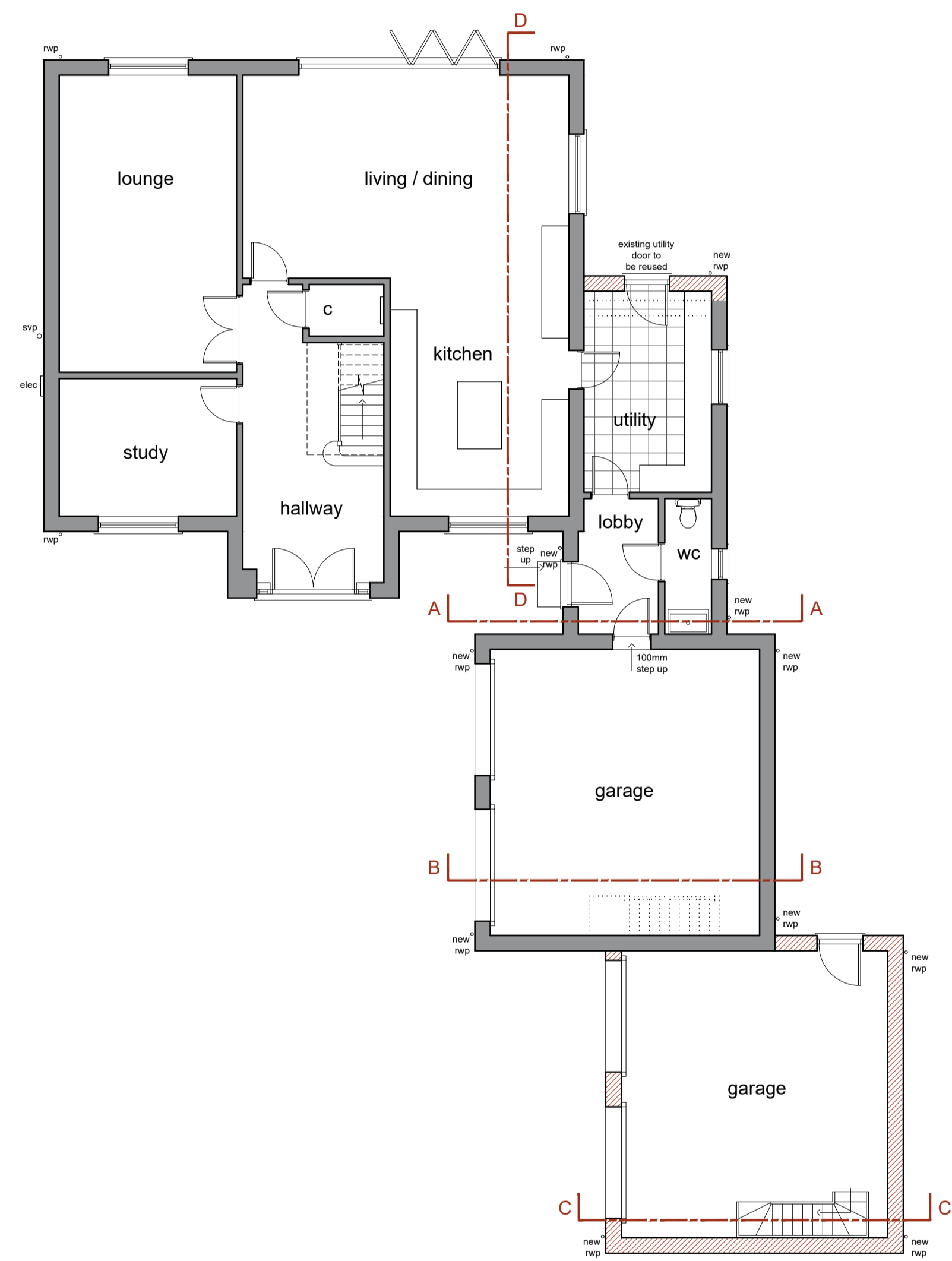
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Drawing Title Planning Drawing Elevations & Sections	Job No. SE-1691	Checked by SHE
	Dwg No. PP2100	Sheet Size A1
		Revision

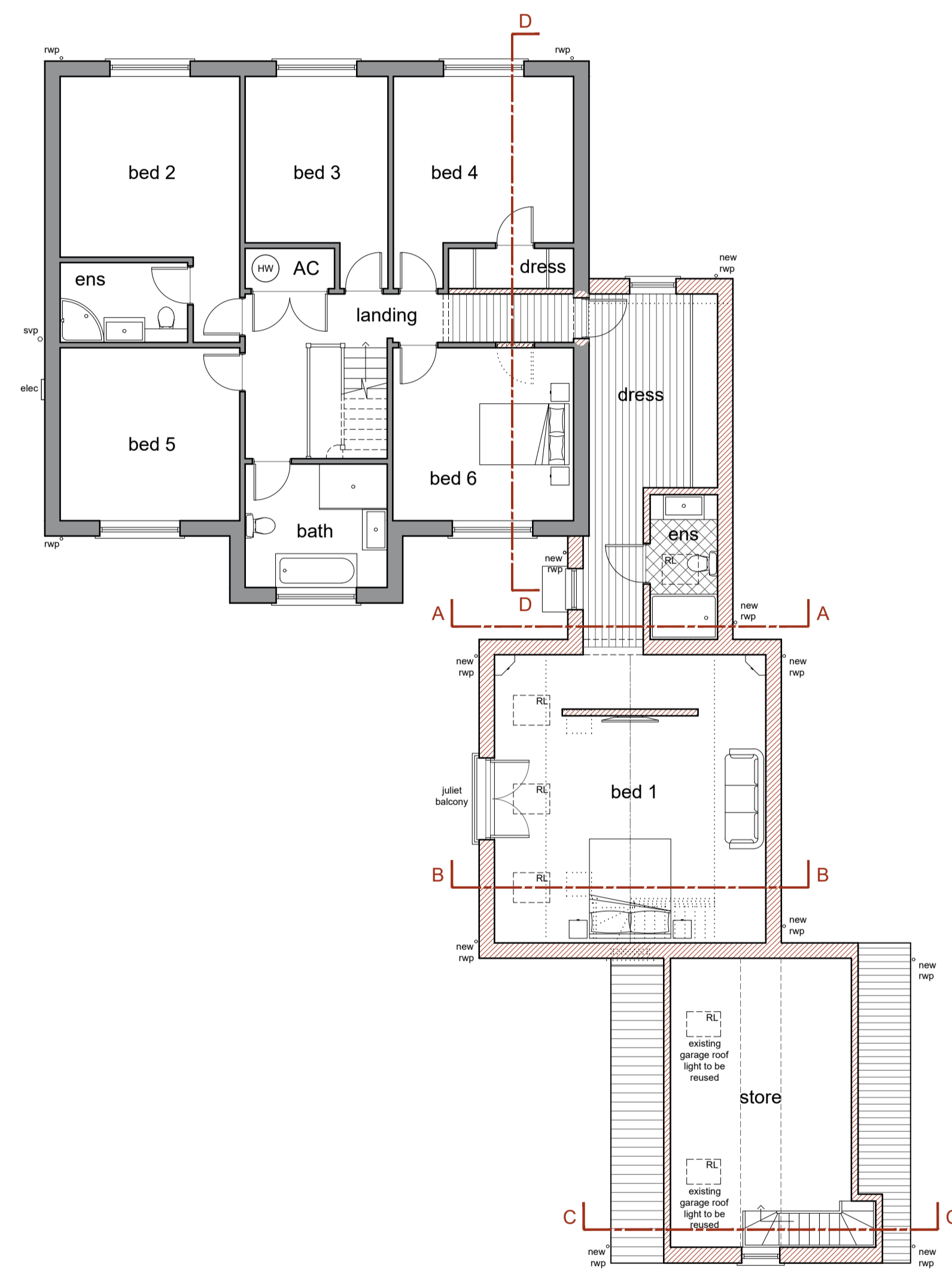
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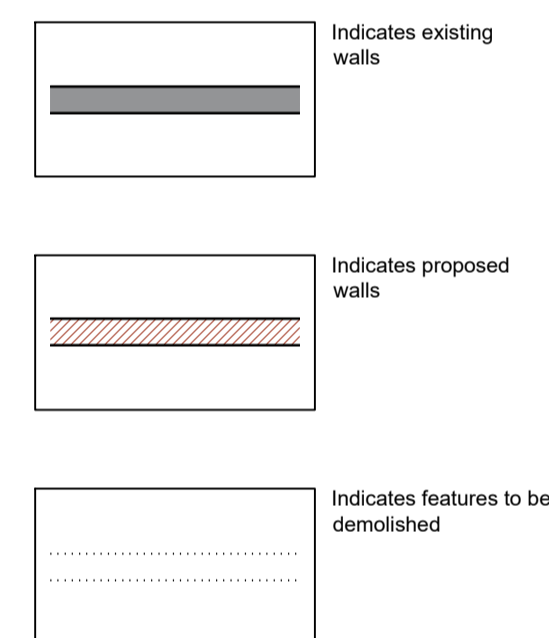


Ground Floor Plan
Scale: 1:100

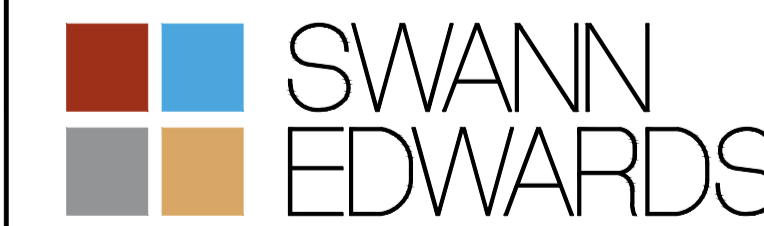


First Floor Plan
Scale: 1:100

WALL KEY



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Checked by SHE	Job No. SE-1691	Sheet Size A1
Drawing Title Planning Drawing Floor Plans	Dwg No. PP1100	Revision